

PRELIMINARY SITE PLAN DRAWINGS FOR

COLUMBIA HEIGHTS GAS

4707 CENTRAL AVENUE N.E.
COLUMBIA HEIGHTS, MINNESOTA



REGULATORY AGENCIES

COMMUNITY DEVELOPMENT DIRECTOR:
JOE HOGEBOOM
(763) 706-3675

CITY ENGINEER/PUBLIC WORKS:
KEVIN HANSEN
(763) 706-3705

FIRE CHIEF:
GARY GORMAN
(763) 706-8152

POLICE CHIEF:
LENNY AUSTIN
(763) 706-8100

CIVIL ENGINEER

WESTWOOD PROFESSIONAL SERVICES, INC.
12701 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MINNESOTA
(952) 937-5150

GEOTECHNICAL ENGINEER

BRAUN INTERTEC
1826 BUERKLE ROAD
ST. PAUL, MINNESOTA
(651) 487-7026

LANDSCAPE ARCHITECT

WESTWOOD PROFESSIONAL SERVICES, INC.
12701 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MINNESOTA
(952) 937-5150

LAND SURVEYOR

WESTWOOD PROFESSIONAL SERVICES, INC.
12701 WHITEWATER DRIVE, SUITE 300
MINNETONKA, MINNESOTA
(952) 937-5150

INDEX OF SHEETS

- C0.0 COVER SHEET
- C1.0 EXISTING CONDITIONS
- C2.0 PRELIMINARY SITE PLAN
- C3.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C4.0 PRELIMINARY UTILITY PLAN
- C5.0 PRELIMINARY LANDSCAPE PLAN
- C6.0 PRELIMINARY LIGHTING PLAN

PRELIMINARY SITE PLAN DRAWINGS 01/05/17
PRELIMINARY SITE PLAN DRAWINGS - RESUBMITTAL 02/02/17
AMENDED SITE PLAN - RESUBMITTAL 06/04/18

UTILITY CONTACTS

MINNESOTA ONE CALL:
811 OR CALL 811.COM

GAS:
CENTERPOINT ENERGY
(800) 778-9140

CITY OF COLUMBIA HEIGHTS
(763) 706-3700

ELECTRIC:
XCEL
(800) 848-7558

TELEPHONE:
CENTURY LINK
(855) 742-6062

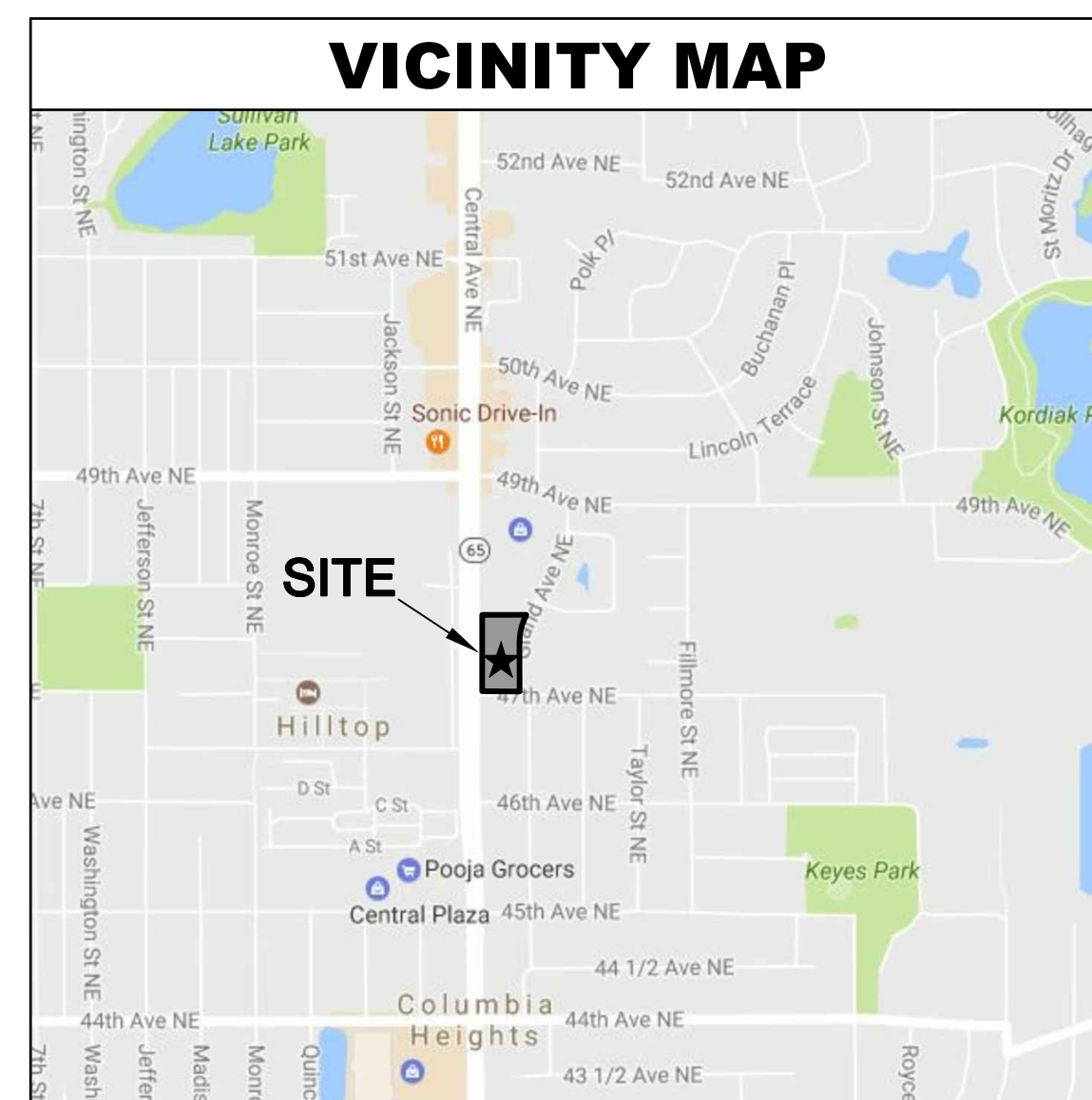
CABLE:
COMCAST
(612) 522-8141

WATER:
PUBLIC WORKS
(763) 706-3700

OWNER / DEVELOPER

HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA
(515) 267-2800

VICINITY MAP



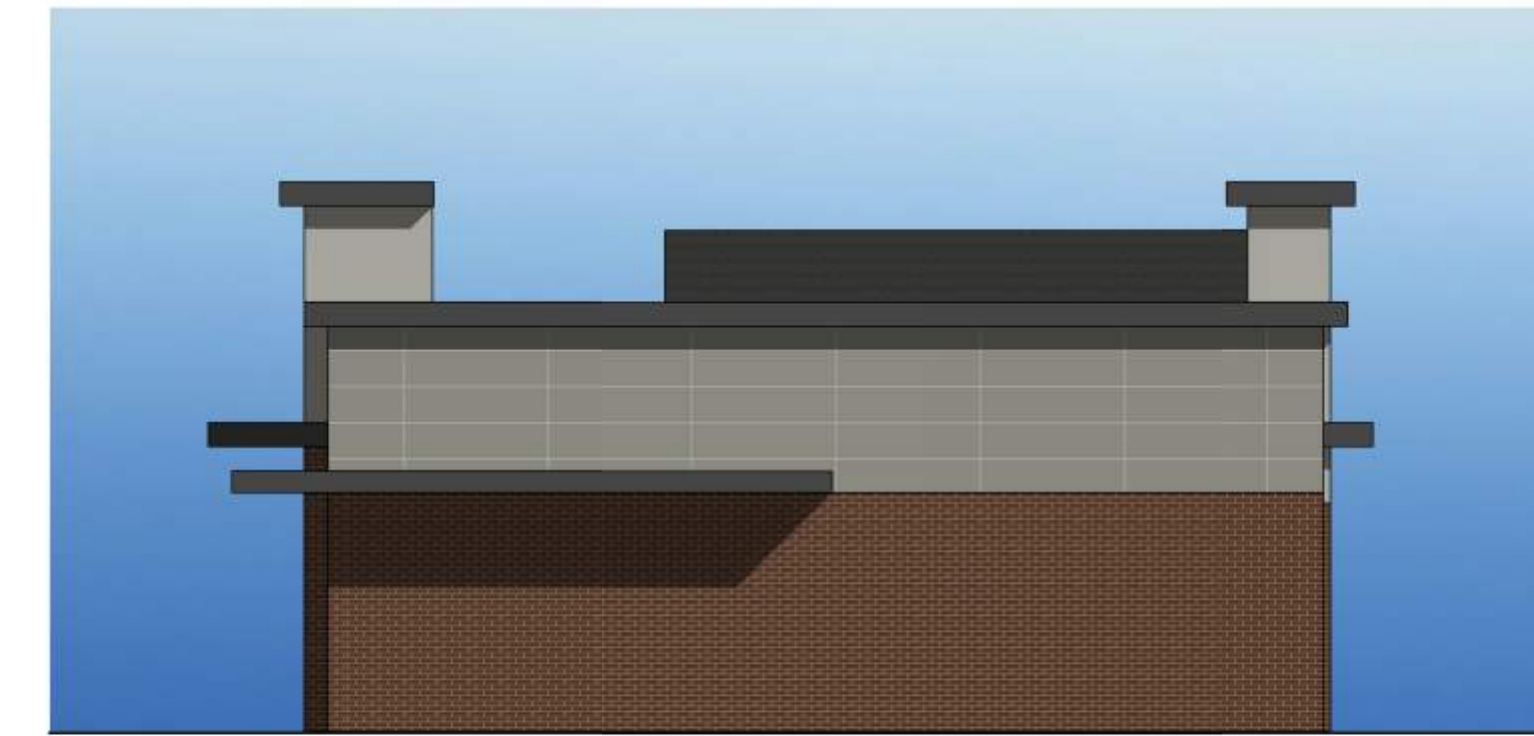
REVISION	DATE BY



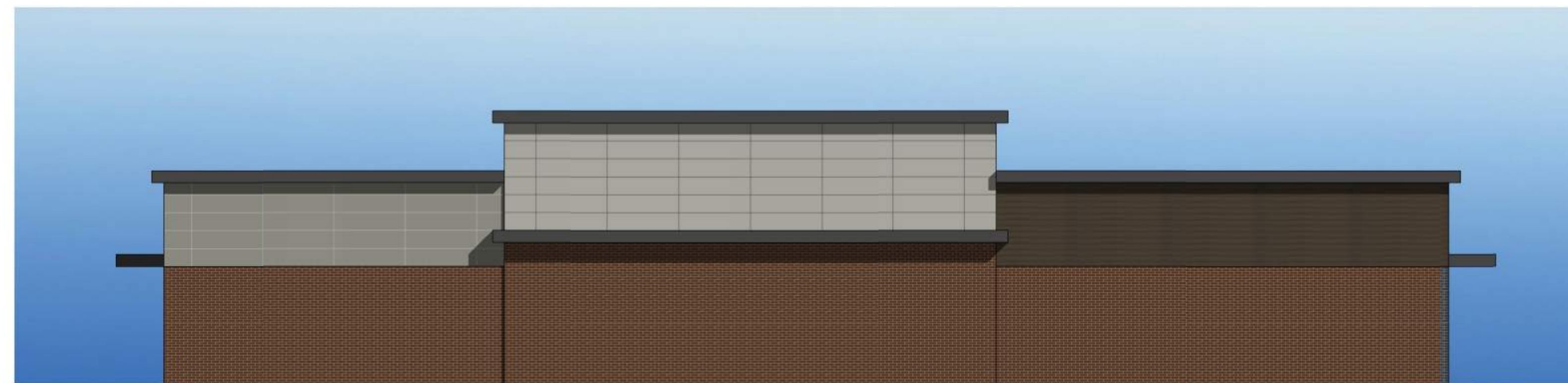
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



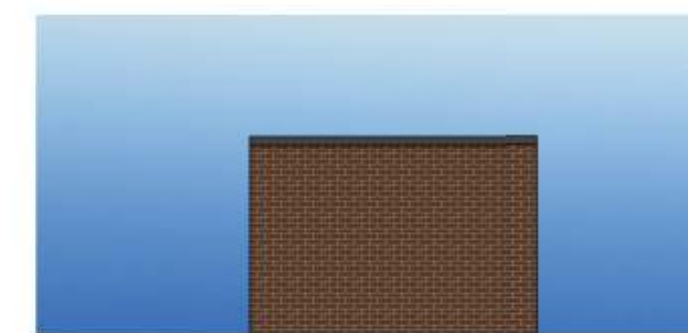
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



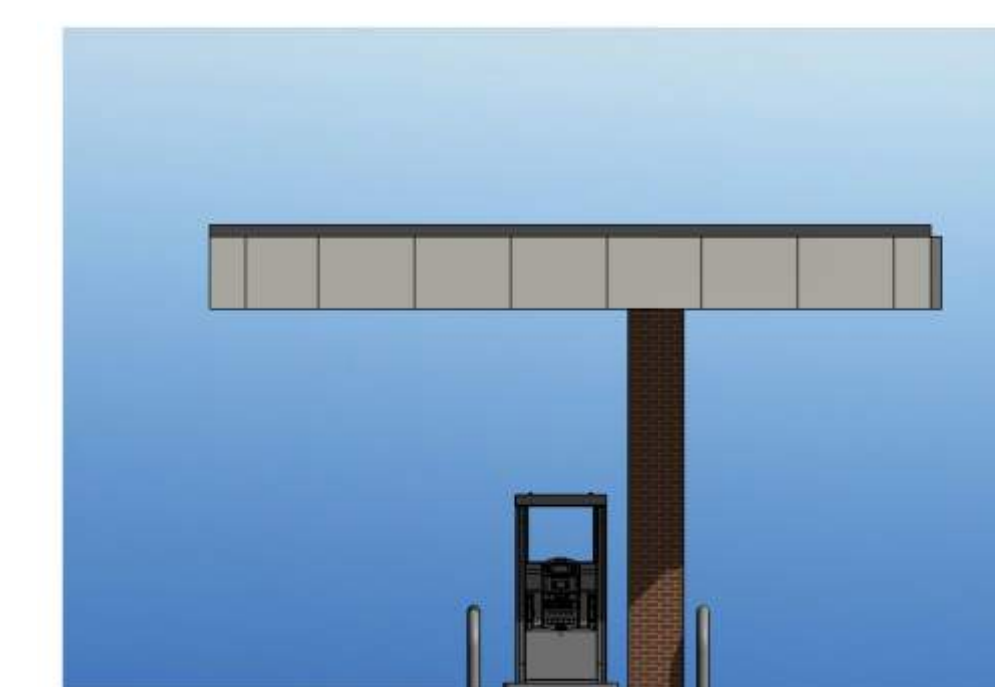
5 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/8" = 1'-0"



6 TRASH ENCLOSURE SIDE/REAR ELEVATION
SCALE: 1/8" = 1'-0"



7 CANOPY FRONT ELEVATION (REAR SIM)
SCALE: 1/8" = 1'-0"



8 CANOPY SIDE ELEVATION
SCALE: 1/8" = 1'-0"

LOCATION
Columbia Heights C-store Concept

HY-VEE, INC.
5820 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
TELEPHONE: (515) 267-2800
FAX: (515) 267-2835



EXTERIOR
ELEVATIONS

DRAWN: TJW	DATE: MAY 2018
SCALE: 1/8" = 1'-0"	JOB NUMBER:

SHEET:
A6.0

REVISION	DATE BY
06/04/18 Amended Site Plan	

Westwood
 Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5922 Minneapolis, MN 55443
 Toll Free (888) 937-5150 westwoodps.com
 Westwood Professional Services, Inc.

Hy-Vee
 EMPLOYEE OWNED

LOCATION:
COLUMBIA HEIGHTS HY-VEE GAS
COLUMBIA HEIGHTS, MINNESOTA

HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2935

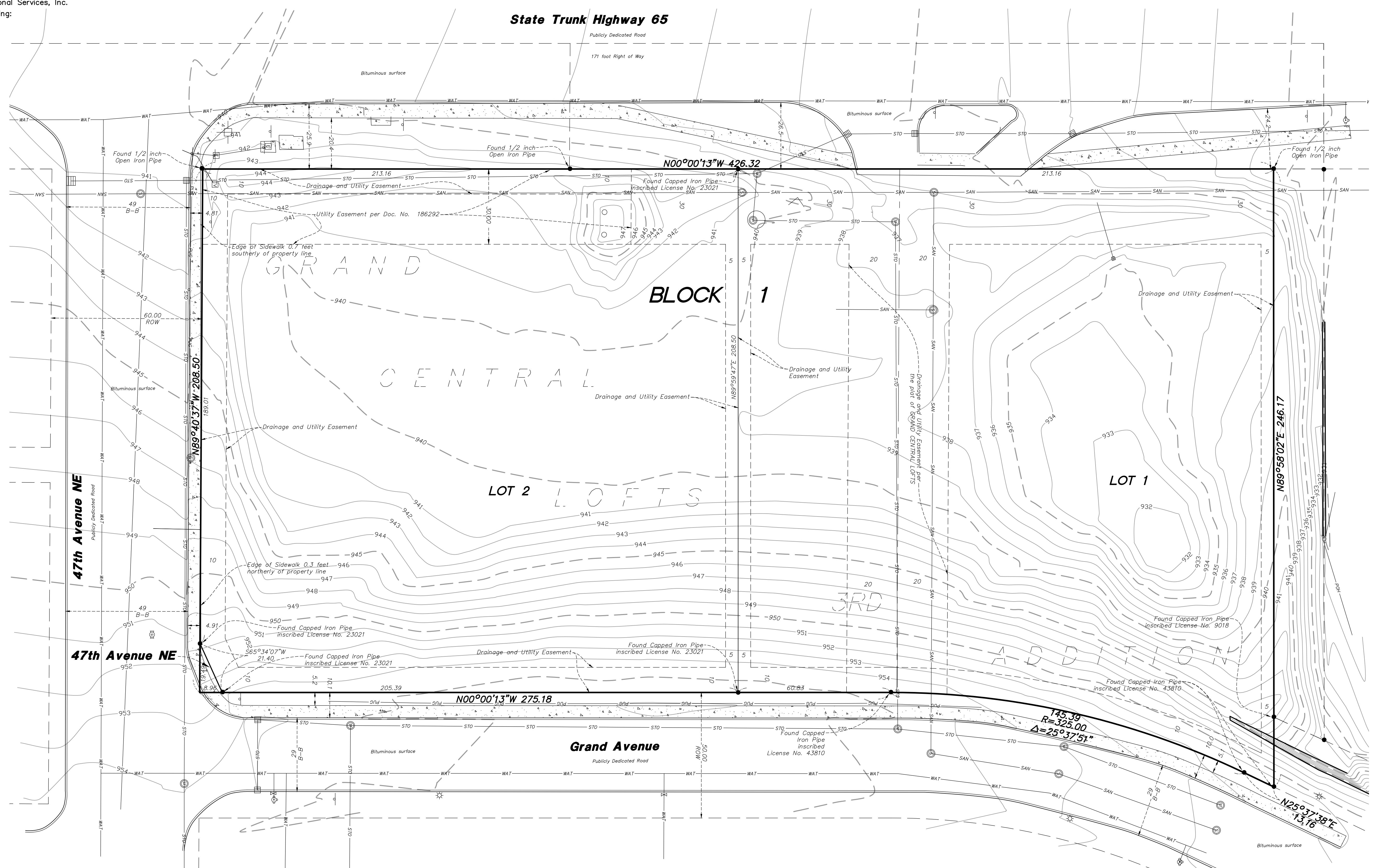
I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL SURVEYOR under the laws of the State of Minnesota.

Craig W. Morse
 Date: 06/01/18 License No. 23021

Existing Conditions

DRAWN: BTW	DATE: 01/05/17
SCALE: 1"=20'	REVISION DATE: 06/04/2018

SHEET: **C1.0**



Property Description

Lot 1 and Lot 2 all in Block 1, GRAND CENTRAL LOFTS 3RD ADDITION, according to the recorded plat thereof, Anoka County, Minnesota

Notes

1) The bearings shown on this survey are based on the Anoka County Coordinate System, N.A.D. 1983 (1996 adjustment), U.S. survey feet. The Vertical Datum is at N.A.V.D. 1988, using Minnesota Department of Transportation Benchmark "0207 M", elevation of 929.31 feet, not graphically shown.

2) Lot Area

Lot 1, Block 1 area	= 46,335 sq. ft. or 1.064 acres
Lot 2, Block 1 area	= 44,480 sq. ft. or 1.021 acres
Right of Way of Grand Avenue area	= 87 sq. ft. or 0.002 acres
Boundary area	= 90,902 sq. ft. or 2.087 acres

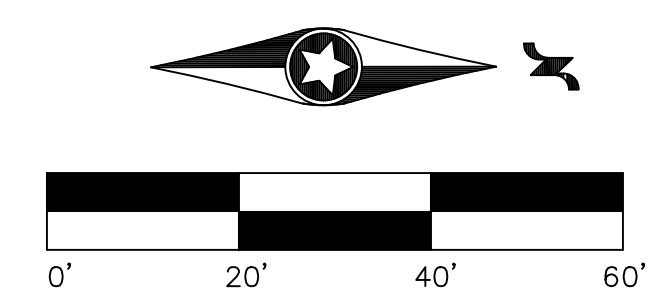
Legend

BUSH/SHRUB	STORM MANHOLE	HANDICAPPED STALL	WATER METER	SANITARY MANHOLE	POWER UNDERGROUND	CONIFEROUS TREE LINE
CONIFEROUS TREE	TELEPHONE BOX	PERC TEST	CURB STOP BOX	SEWER CLEANOUT	SANITARY SEWER	CURB & GUTTER
DECIDUOUS TREE	TELEPHONE MANHOLE	MONITORING WELL	WATER MANHOLE	BEEHIVE CATCH BASIN	STORM SEWER	ACCESS CONTROL
WETLAND	TRAFFIC CONTROL BOX	CABLE TV BOX	WELL	CATCH BASIN	TELEPHONE OVERHEAD	FIBER OPTIC LINE
STEEL/WOOD POST	HAND HOLE	GAS METER	ELECTRIC BOX	FLARED END SECTION	TELEPHONE UNDERGROUND	CABLE TV
SIGN-TRAFFIC/OTHER	TRAFFIC LIGHT	GUY WIRE	ELECTRIC METER	CULVERT	WATERMAIN	CONCRETE SURFACE
SIGN-TRAFFIC/OTHER	GATE VALVE	STREET LITE	ELECTRIC MANHOLE	ELECTRIC MANHOLE	FENCE LINE	DECIDUOUS TREE LINE
MAIL BOX	HYDRANT	POWER POLE	ELECTRIC TOWER	POWER OVERHEAD	DECIDUOUS TREE LINE	

○ Denotes set 1/2"x14" Iron Pipe marked with Plastic Cap inscribed with Lic. No. 23021, unless otherwise noted.

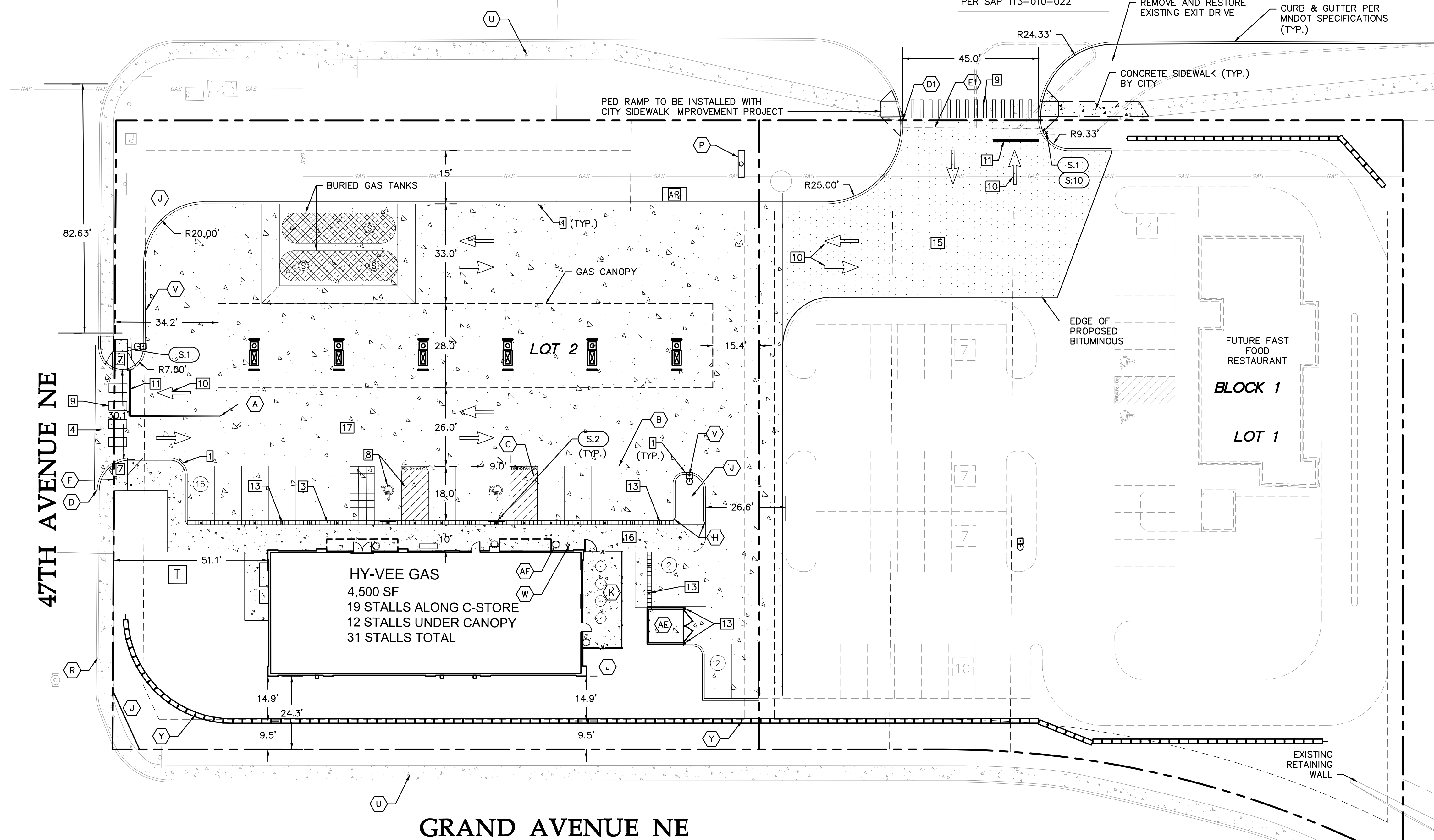
● Denotes Iron Monument Found as noted.

NOT FOR CONSTRUCTION



CENTRAL AVENUE NE

ADDITIONAL CENTRAL AVE. IMPROVEMENTS BY OTHERS PER SAP 113-010-022



Site Development Summary

- EXISTING ZONING: GB (GENERAL BUSINESS DISTRICT)
- PROPOSED ZONING: GB (GENERAL BUSINESS DISTRICT)
- PARKING SPACES/DRIVE AISLES:
 - TWO WAY AISLE: 24' (MIN.)
 - 90° PARKING STALLS: 9' WIDTH (TYP.); 20' LENGTH, 18' W/CURB (MIN.)
- CITY PARKING RATIO REQUIREMENT:
 - AUTOMOBILE CONVENIENCE FACILITY: 6 SPACES + 1 SPACE/300 SF. (3.3/1,000) (4,500 SF/300 = 15 SPACES)
- HY-VEE GAS:
 - TOTAL SPACES REQUIRED: 21 SPACES (4.67/1,000)
 - TOTAL SPACES PROVIDED: 21 SPACES
- PARKING PROVIDED:
 - HY-VEE GAS ALONG C-STORE: 19 SPACES (4.22/1000)
 - HY-VEE GAS UNDER CANOPY: 12 SPACES (2.67/1,000)
 - TOTAL SPACES PROVIDED: 31 SPACES (6.89/1,000)

Site Notes

- A 4" DOUBLE YELLOW LANE STRIPE (TYP.)
- B 4" SINGLE WHITE LANE STRIPE
- C 4" YELLOW DIAGONAL STRIPE
- D MATCH EXISTING CURB & GUTTER
- E1 MATCH PAVEMENT PER CENTRAL AVE. IMPROVEMENT PROJECT
- F MATCH EXISTING CONCRETE (WALK OR DRIVE)
- H CURB TRANSITION TO FLUSH
- J PLANTED AREA
- K PATIO WITH FENCE
- P MONUMENT SIGN
- Q LOADING DOCKS
- R EXISTING CONCRETE CURB
- S EXISTING CONCRETE PAVEMENT
- T EXISTING LIGHT
- U EXISTING SIDEWALK
- V LIGHT LOCATION
- W FDC LOCATION
- Y RETAINING WALL
- AE TRASH ENCLOSURE
- AF TRASH/ASH RECEPTACLE

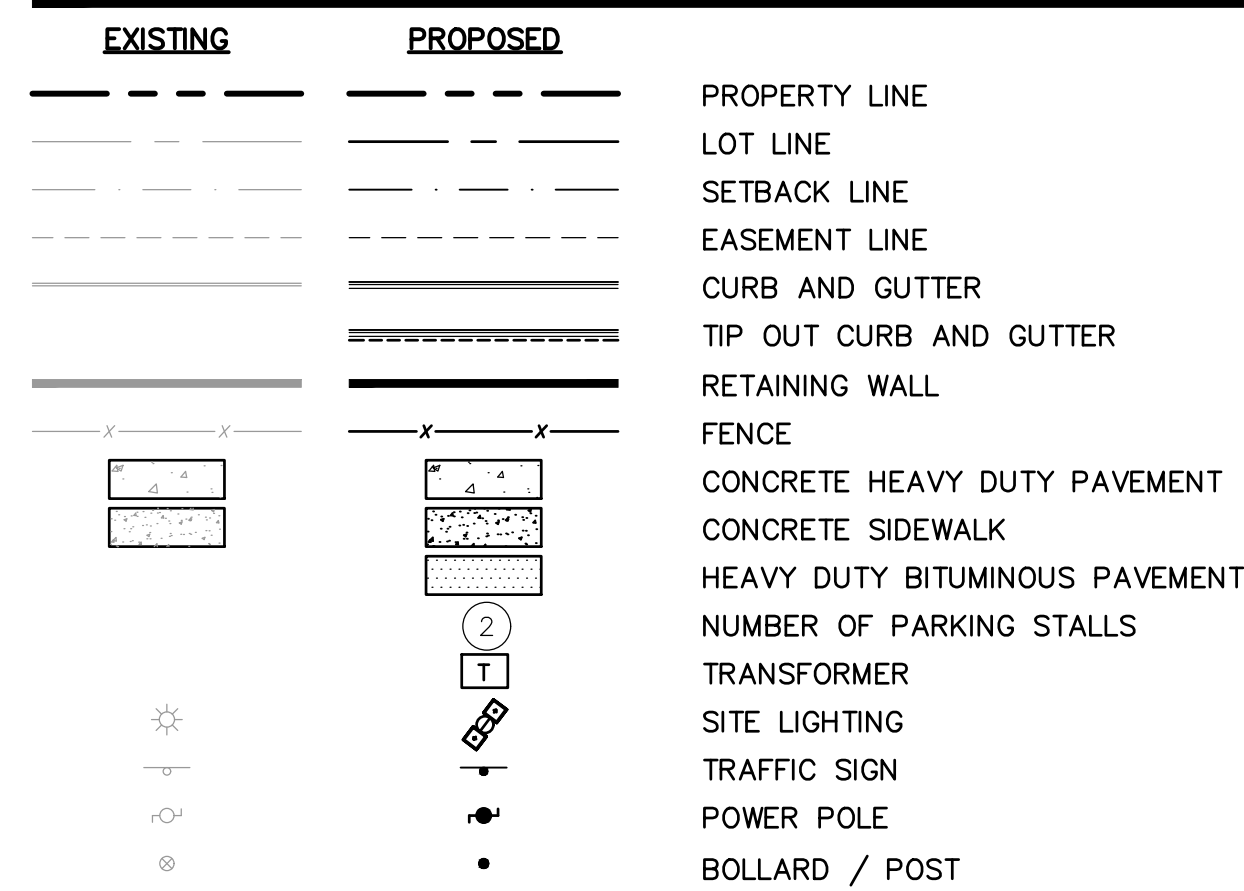
Site Details

- B612 CURB & GUTTER
- INTEGRAL CURB & WALK
- FLUSH CONCRETE SIDEWALK & PAVEMENT
- CONCRETE DRIVEWAY APRON
- CONCRETE CROSS GUTTER
- PEDESTRIAN CURB RAMP
- ACCESSIBLE PEDESTRIAN RAMP (WITH TRUNCATED DOMES)
- ACCESSIBLE PARKING LOGO, STRIPING, & SIGNAGE
- CROSS WALK STRIPING (PAINTED WHITE WITH SILICA)
- TRAFFIC ARROW
- PAINTED STOP BAR
- PAVEMENT MARKINGS
- PROTECTIVE BOLLARD (TYP.)
- STANDARD DUTY BITUMINOUS PAVEMENT
- HEAVY DUTY BITUMINOUS PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE HEAVY DUTY PAVEMENT
- B624 CURB & GUTTER

Hy-Vee Parking Lot Painting Specifications

- PAINT TRAFFIC DIRECTION ARROWS, PARKING STRIPES, AND HANDICAP SYMBOLS "TRAFFIC YELLOW".
- PAINT SHALL BE LEAD FREE WATERBORNE TRAFFIC AND HIGHWAY MARKING PAINT UC-3584 YELLOW AS MANUFACTURED BY DIAMOND VOGEL PAINTS OR EQUIVALENT.
- PROVIDE FOUNDRY GRADE SILICA SAND THAT MEETS A 50/60 GRADED SAND WHEN TESTED ACCORDING TO ASTM C-136.
- BEFORE APPLICATION OF PAINT, PAINTING SURFACE MUST BE DRY AND FREE FROM DIRT, GREASE, OIL, OR OTHER MATERIAL THAT WOULD REDUCE THE BOND BETWEEN THE PAVEMENT AND PAINT. CLEAN THE AREA TO BE PAINTED BY SWEEPING OR COMPRESSED AIR.
- APPLY PAINT AT LOCATIONS, DIMENSIONS, AND SPACING SHOWN ON THE PLANS.
- MIX PAINT IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPLY AT THE RATE OF 115 SF/GALLON. THE ADDITION OF THINNER WILL NOT BE PERMITTED.
- APPLY SILICA SAND AT 4LBS/GALLON OF PAINT IMMEDIATELY AFTER THE APPLICATION OF PAINT. SILICA SAND SHALL ADHERE TO THE CURED PAINT PRIOR TO FINAL ACCEPTANCE AND PAYMENT.
- PROTECT ALL MARKINGS FROM DAMAGE UNTIL PAINT IS DRY.

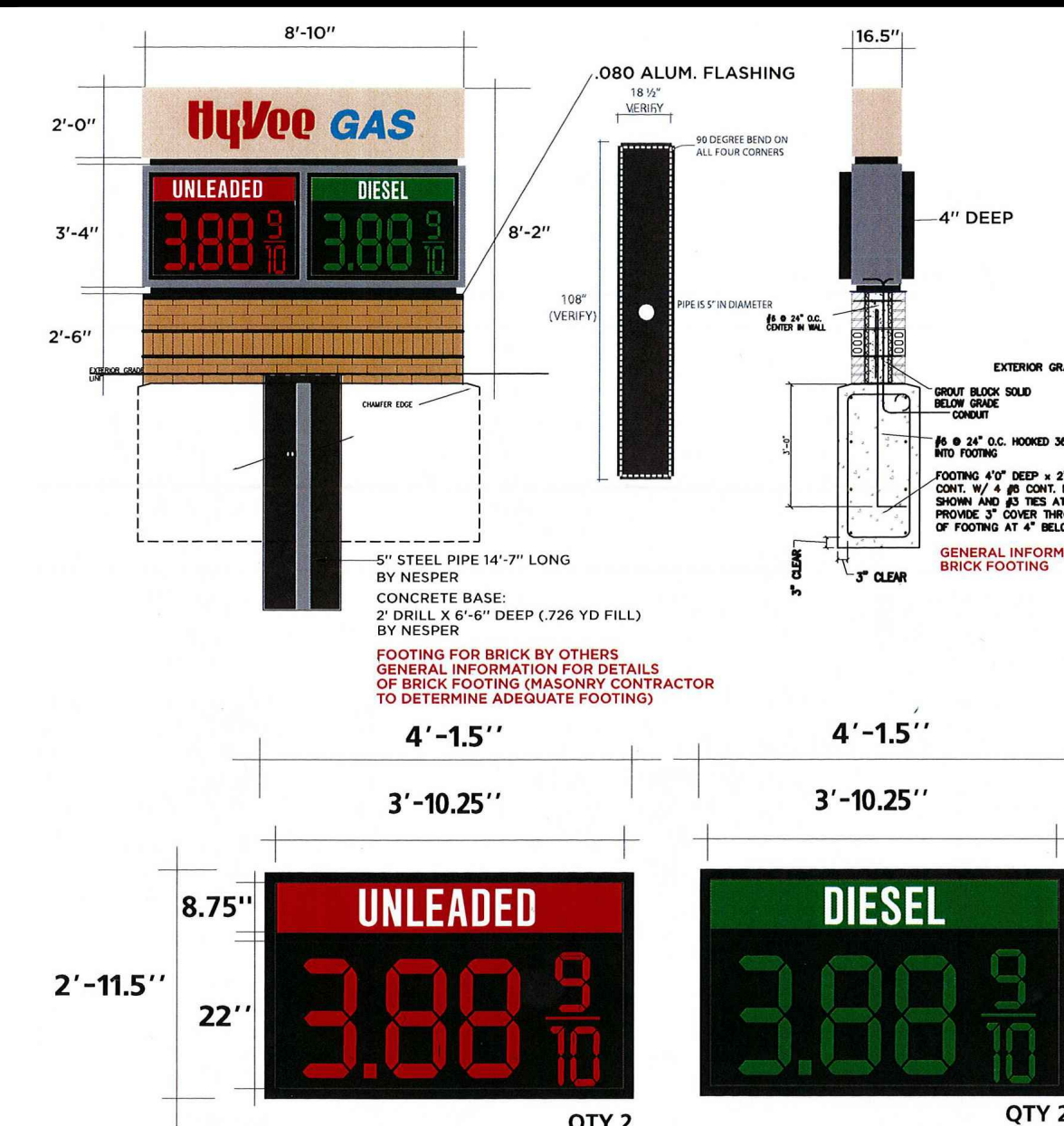
Site Legend



General Site Notes

- BACKGROUND INFORMATION FOR THIS PROJECT PROVIDED BY WESTWOOD PROFESSIONAL SERVICES, INC., EDEN PRAIRIE, MINNESOTA.
- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. IF ANY DISCREPANCIES ARE FOUND, THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- REFER TO BOUNDARY SURVEY FOR LOT BEARINGS, DIMENSIONS AND AREAS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, AND TRUCK DOCKS.
- ALL CURB RADII SHALL BE 4.0 FEET (TO BACK OF CURB) UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY AND ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS. CONTRACTOR TO SUBMIT TRAFFIC CONTROL PLAN TO HENNEPIN COUNTY.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING DETAILS AND PHOTOMETRICS.

Monument Sign



Sign Legend

REFERENCE	SIZE	MNDOT DESIGNATION
S.1 STOP SIGN	30" X 30"	R1-1
S.2 HANDICAP ACCESSIBLE (MOUNTED ON PROTECTIVE BOLLARDS)	12" X 18"	R7-8M
S.3 NO PARKING	12" X 12"	R8-38
S.9 "ONE WAY - DO NOT ENTER"	30" X 30"	R5-1
S.10 "NO LEFT TURN"	24" X 24"	R3-2

REVISION	DATE BY
02/02/17 Site Plan Application-Resubmit	
06/04/18 Amended Site Plan	

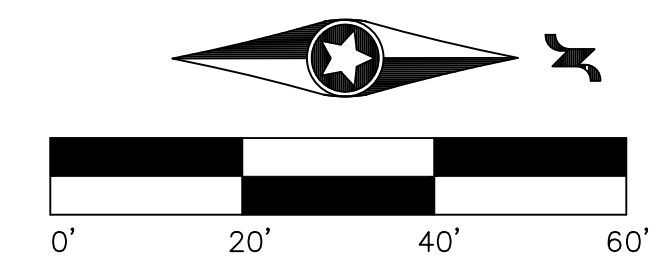
Westwood
 12701 Whitewater Drive, Suite #300
 Minneapolis, MN 55443
 Phone: (952) 837-5150
 Fax: (952) 837-5922
 Toll Free: (888) 837-5150
 westwoodps.com
 Westwood Professional Services, Inc.

Hy-Vee
 EMPLOYEE OWNED
 LOCATION:
 COLUMBIA HEIGHTS HY-VEE GAS
 COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2935

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.
Daniel M. Parks
 Daniel M. Parks
 Date: 06/04/2018 License No. 18919

Preliminary
 Site Plan

DRAWN:	DATE:
NTM	01/05/17
SCALE:	REVISION DATE:
1"=20'	06/04/2018
SHEET:	C2.0



NOT FOR CONSTRUCTION

ADDITIONAL CENTRAL AVE.
 IMPROVEMENTS BY OTHERS
 PER SAP 113-010-022

CENTRAL AVENUE NE

Grading Legend

EXISTING	PROPOSED	
		PROPERTY LINE
		INDEX CONTOUR
		INTERVAL CONTOUR
		CURB AND GUTTER
		POND NORMAL WATER LEVEL
		SILT FENCE
		BIOLOGS
		STORM SEWER
		FLARED END SECTION (WITH RIPRAP)
		WATER MAIN
		SANITARY SEWER
		RETAINING WALL
		DRAIN TILE
		RIDGE LINE
		GRADING LIMITS
		ROCK CONSTRUCTION ENTRANCE
		EROSION CONTROL BLANKET
		TURF REINFORCEMENT MAT
		SPOT ELEVATION
		FLOW DIRECTION
		TOP AND BOTTOM OF RETAINING WALL
		EMERGENCY OVERFLOW
		SOIL BORING LOCATION
		INLET PROTECTION
		TEMPORARY ROCK CHECK DAM

REVISION	DATE BY
02/02/17 Site Plan Application-Resubmit	
03/29/18 Amended Site Plan	

Westwood
 12701 Whitewater Drive, Suite #300
 Minneapolis, MN 55443
 Phone: (952) 937-5150
 Fax: (952) 937-5922
 Toll Free: (888) 937-5150
 westwoodps.com
 Westwood Professional Services, Inc.

Hy-Vee
 EMPLOYEE OWNED

LOCATION:
COLUMBIA HEIGHTS HY-VEE GAS
COLUMBIA HEIGHTS, MINNESOTA

HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2935

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Daniel M. Parks
Daniel M. Parks
 Date: 06/04/2018 License No. 18919

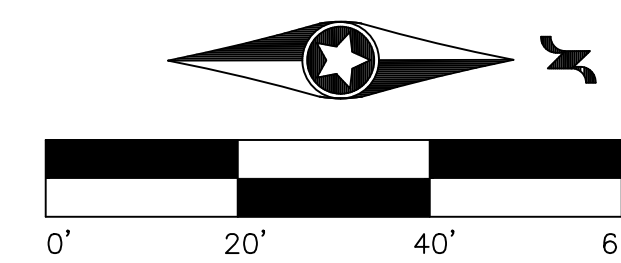
Preliminary
 Grading &
 Drainage Plan

DRAWN:	DATE:
SSA	01/05/17
SCALE:	REVISION DATE:
1"=20'	06/04/2018

SHEET: **C3.0**

Grading Notes

- LOCATIONS AND ELEVATIONS OF EXISTING TOPOGRAPHY AND UTILITIES AS SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO EXCAVATION/CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- CONTRACTORS SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVEMENT, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND NUMBER OF DOWNSPOUTS.
- ALL EXCAVATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. SEE LANDSCAPE PLAN FOR PLANTING AND TURF ESTABLISHMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGMEN AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE INDICATED ON THIS SHEET.
- CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AND PROVIDE A SMOOTH FINISHED SURFACE WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE SHOWN OR BETWEEN SUCH POINTS AND EXISTING GRADES.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS & GUTTER FLOW LINE UNLESS OTHERWISE NOTED. PROPOSED CONTOURS ARE TO FINISHED SURFACE GRADE.
- SEE SOILS REPORT FOR PAVEMENT THICKNESSES AND HOLD DOWNS.
- CONTRACTOR SHALL DISPOSE OF ANY EXCESS SOIL MATERIAL THAT EXISTS AFTER THE SITE GRADING AND UTILITY CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL DISPOSE OF ALL EXCESS SOIL MATERIAL IN A MANNER ACCEPTABLE TO THE OWNER AND THE REGULATING AGENCIES.
- CONTRACTOR SHALL PROVIDED A STRUCTURAL RETAINING WALL DESIGN CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE AND FEDERAL RULES INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- PRIOR TO PLACEMENT OF ANY STRUCTURE OR PAVEMENT, A PROOF ROLL, AT MINIMUM, WILL BE REQUIRED ON THE SUBGRADE. PROOF ROLLING SHALL BE ACCOMPLISHED BY MAKING MINIMUM OF 2 COMPLETE PASSES WITH FULLY-LOADED TANDEM-AXLE DUMP TRUCK, OR APPROVED EQUAL, IN EACH OF 2 PERPENDICULAR DIRECTIONS WHILE UNDER SUPERVISION AND DIRECTION OF THE INDEPENDENT TESTING LABORATORY. AREAS OF FAILURE SHALL BE EXCAVATED AND RECOMPACTED AS SPECIFIED HEREIN.
- EMBANKMENT MATERIAL PLACED BENEATH BUILDINGS AND STREET OR PARKING AREAS SHALL BE COMPACTED IN ACCORDANCE WITH THE SPECIFIED DENSITY METHOD AS OUTLINED IN MNDOT 2105.3F1 AND THE REQUIREMENTS OF THE GEOTECHNICAL ENGINEER.
- EMBANKMENT MATERIAL NOT PLACED IN THE BUILDING PAD, STREETS OR PARKING AREA, SHALL BE COMPACTED IN ACCORDANCE WITH REQUIREMENTS OF THE ORDINARY COMPACTION METHOD AS OUTLINED IN MNDOT 2105.3F2.
- ALL SOILS AND MATERIALS TESTING SHALL BE COMPLETED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. EXCAVATION FOR THE PURPOSE OF REMOVING UNSTABLE OR UNSUITABLE SOILS SHALL BE COMPLETED AS REQUIRED BY THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED SOILS TESTS AND INSPECTIONS WITH THE GEOTECHNICAL ENGINEER.



NOT FOR CONSTRUCTION

Utility Legend

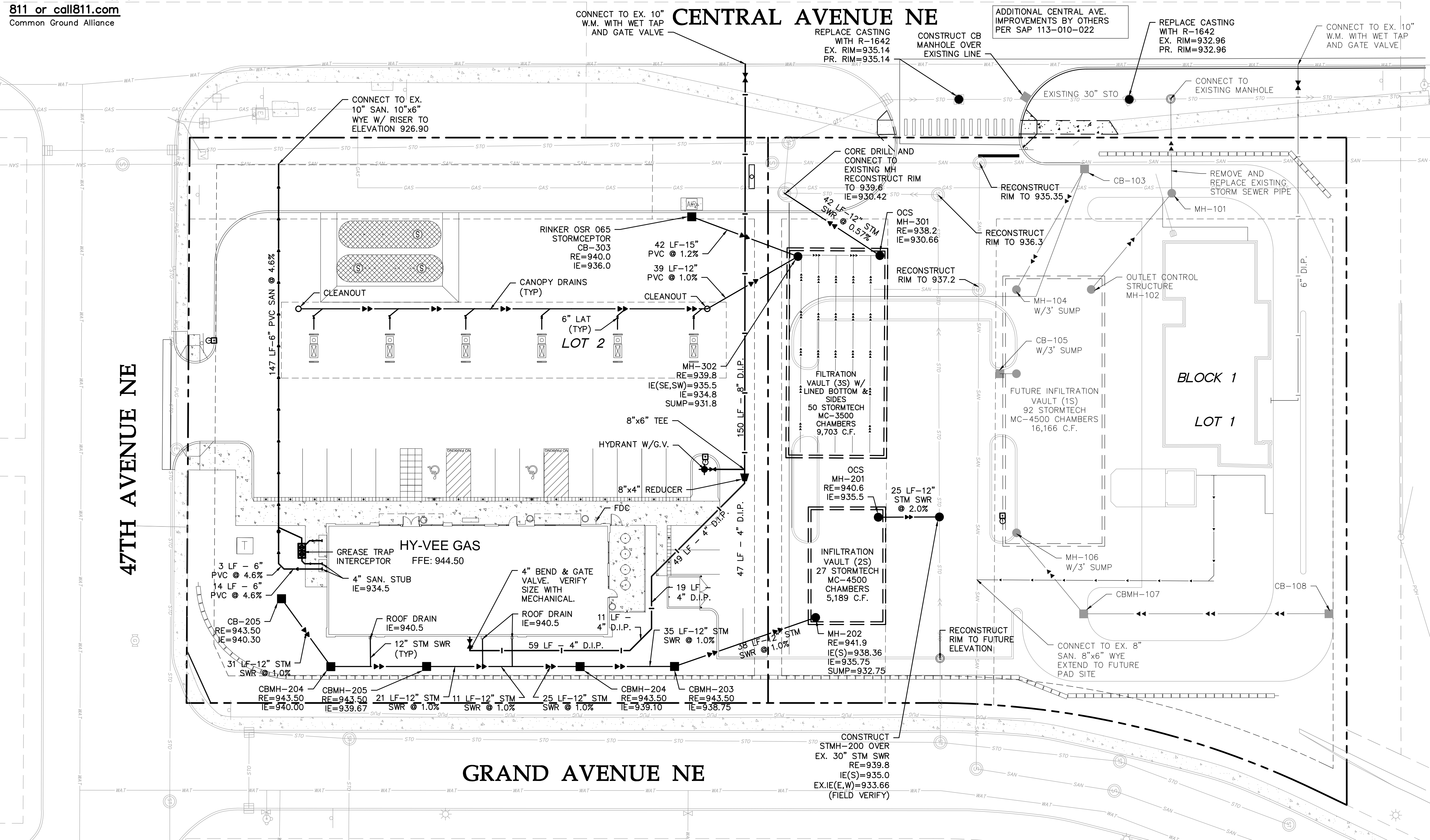
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	EASEMENT LINE
---	---	CURB AND GUTTER
---	---	SANITARY SEWER
---	---	STORM SEWER
---	---	WATER MAIN
---	---	HYDRANT
---	---	GAS
---	---	UNDERGROUND ELECTRIC
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND TELEPHONE
---	---	OVERHEAD TELEPHONE
---	---	TELEPHONE FIBER OPTIC
---	---	CABLE TELEVISION
---	---	DRAIN TILE
---	---	GATE VALVE
---	---	LIGHT POLE
---	---	VERTICAL UTILITY SEPARATION

Westwood
 12701 Whitewater Drive, Suite #300
 Minneapolis, MN 55443
 Phone: (952) 837-5150
 Fax: (952) 837-5822
 Toll Free: (888) 837-5150
 westwoodps.com
 Westwood Professional Services, Inc.

LOCATION:
 COLUMBIA HEIGHTS HY-VEE GAS
 COLUMBIA HEIGHTS, MINNESOTA

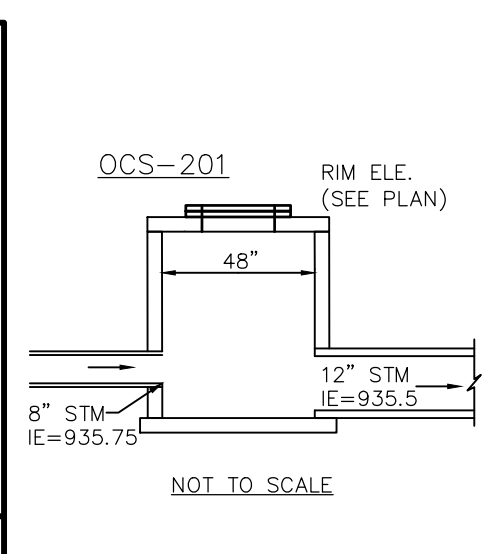
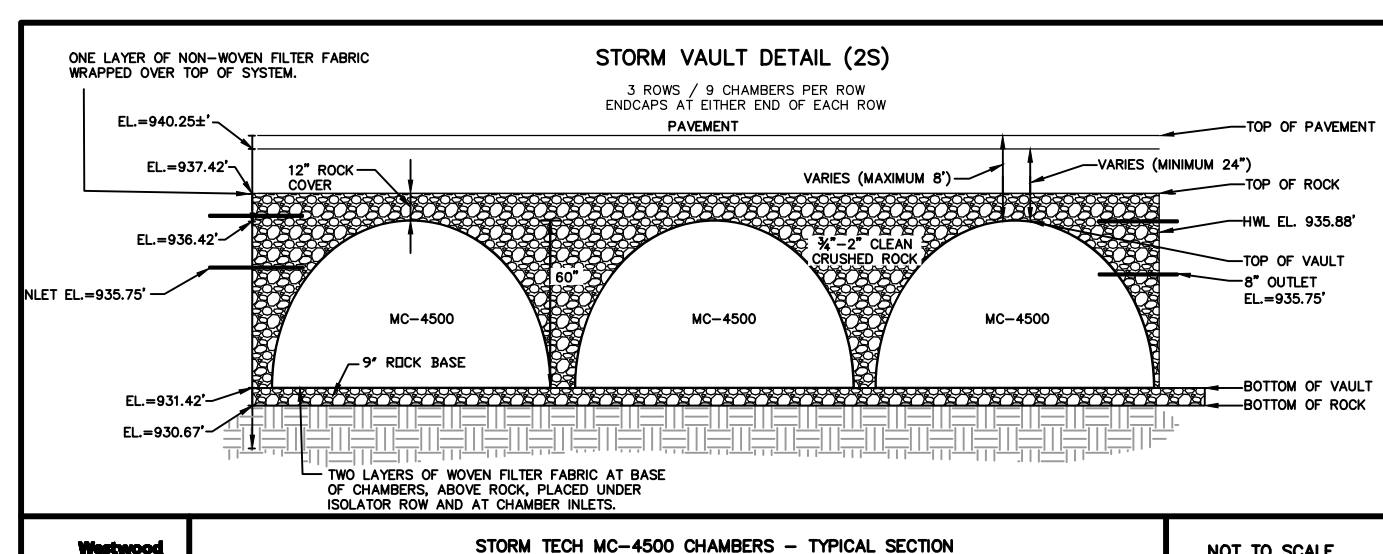
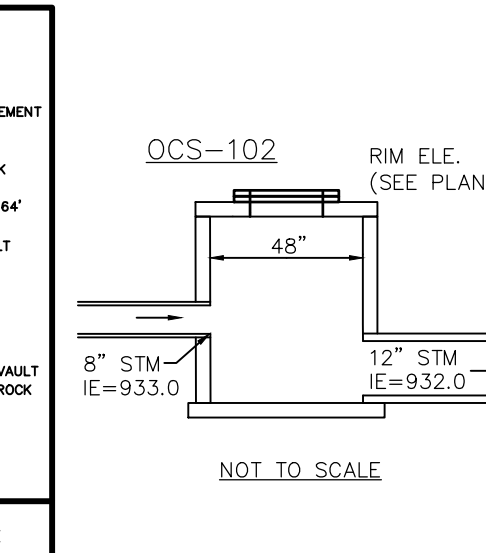
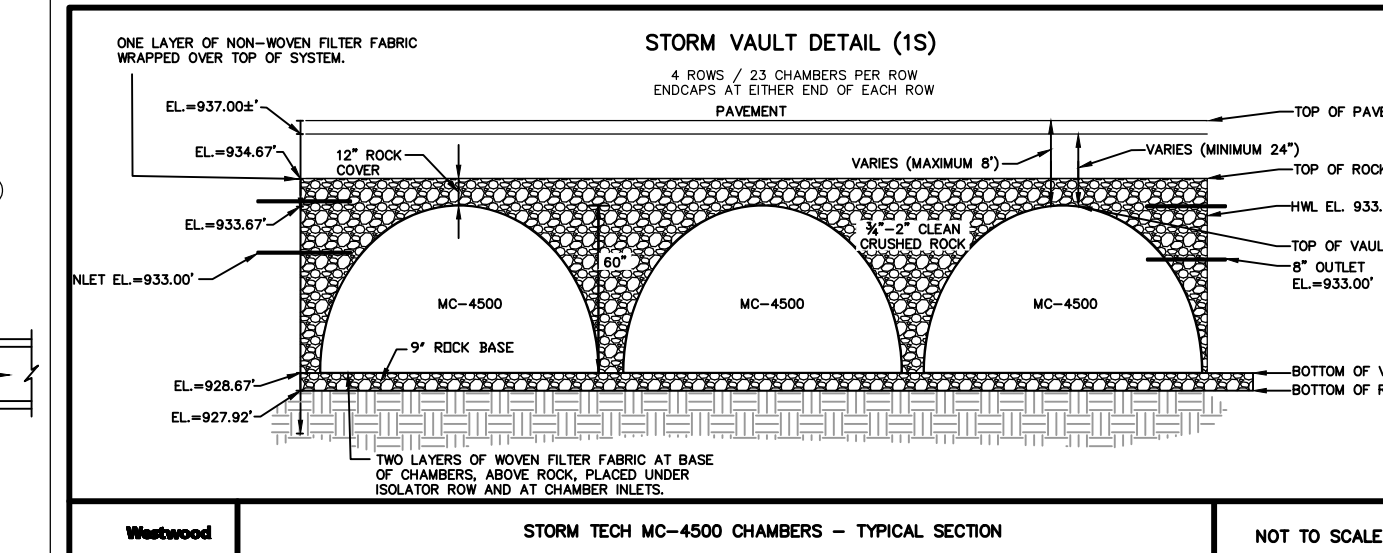
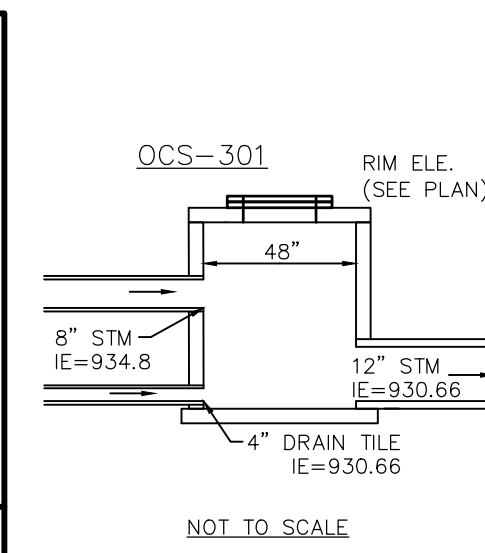
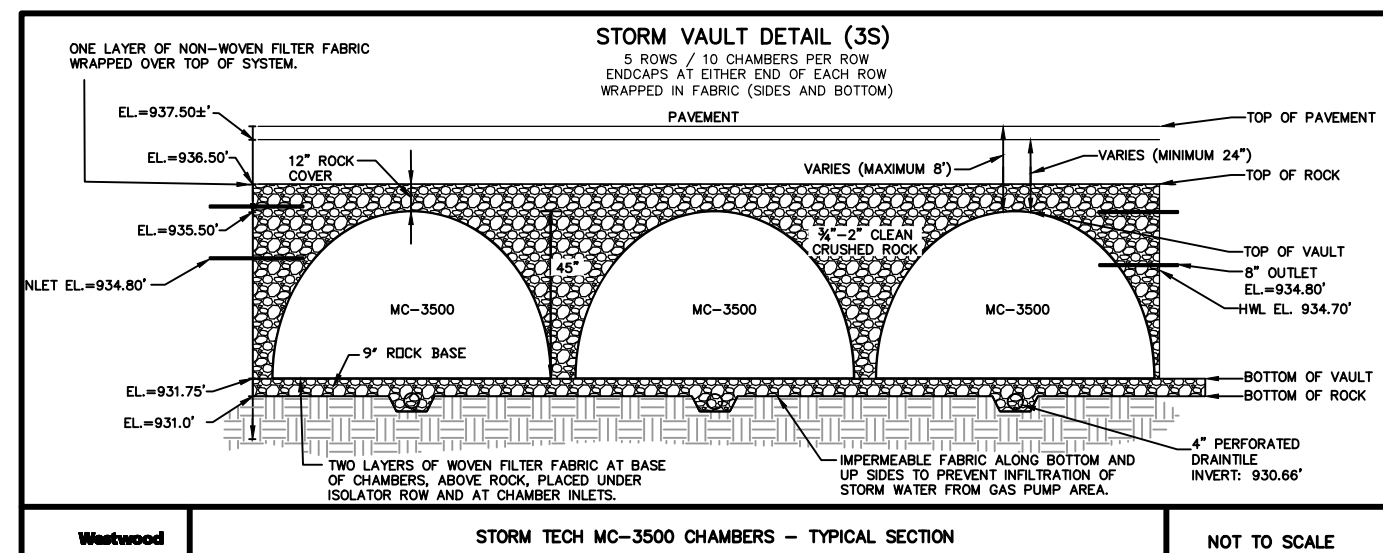
HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2935

Employee Owned

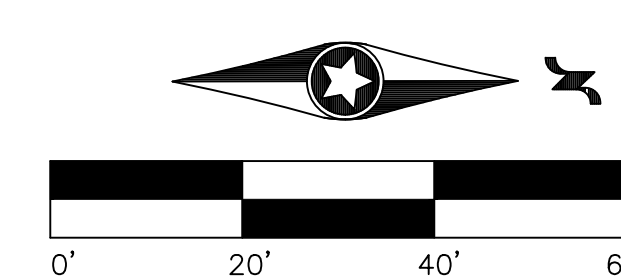


General Utility Notes

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND LIMITED MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY THE OWNER OR ENGINEER OF DISCREPANCIES.
- ALL SANITARY SEWER, STORM SEWER AND WATER MAIN INSTALLATIONS SHALL BE PER MINNESOTA PLUMBING CODE AND IN ACCORDANCE WITH THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY FEDERAL, STATE AND LOCAL PERMITS FOR THE PROPOSED WORK OR VERIFY WITH THE OWNER OR ENGINEER THAT PERMITS HAVE BEEN OBTAINED. PERMIT FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE ARRANGED WITH THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF DOORWAYS, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY CONNECTION LOCATIONS.
- ALL PRIVATE UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE SERVICE LINE CONSTRUCTION WITH THE UTILITY COMPANIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY PERMITS FOR UTILITY CONNECTIONS, AND UTILITIES SHALL BE INSPECTED AND APPROVED BY THE CITY. THE CITY SHALL BE NOTIFIED 48-HOURS PRIOR TO COMMENCING WITH THE UTILITY CONSTRUCTION OR ANY REQUIRED TESTING. CONTRACTOR SHALL NOT OPERATE, INTERFERE WITH, CONNECT ANY PIPE OR HOSE TO, OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- WATER MAIN LENGTHS AS SHOWN ARE APPROXIMATE HORIZONTAL LENGTHS. ALLOW FOR ADDITIONAL PIPE WHEN INSTALLING ON SLOPES OR WHEN DEFLECTIONS ARE REQUIRED. THE JOINT DEFLECTIONS SHALL NOT EXCEED THE MAXIMUM RECOMMENDED BY THE PIPE MANUFACTURER OR BY LOCAL GOVERNING SPECIFICATIONS REQUIRED TO CONSTRUCT WATER MAIN SHALL BE INCLUDED IN WATER MAIN CONSTRUCTION.
- PROVIDE WATER MAIN THRUST RESTRAINTS PER CITY STANDARD REQUIREMENTS.
- A MINIMUM VERTICAL SEPARATION OF 18 INCHES IS REQUIRED AT ALL WATER MAIN CROSSINGS WITH SANITARY SEWER OR STORM SEWER.
- UTILITY SERVICES TYPICALLY TERMINATE 5' OUTSIDE BUILDING WALL UNLESS OTHERWISE SHOWN OR NOTED.
- ALL MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY.
- ALL WATER LINES SHALL BE DUCTILE IRON WRAPPED IN POLYETHYLENE, CLASS 52 WITH 7.5' MINIMUM COVER. PROVIDE MINIMUM SEPARATION OF 18" FROM SANITARY SEWER & STORM SEWER. INSULATE WATER MAIN IF LESS THAN 7.5' OF COVER.
- INSULATION SHALL BE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, WITH 4 INCHES OF THICKNESS.
- SANITARY SEWER PIPE OUTSIDE THE BUILDING ENVELOPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 OR 26. SDR 26 IS REQUIRED FOR DEPTHS GREATER THAN 15 FEET. SANITARY SEWER PIPE WITHIN 5 FEET OF BUILDING AND UNDER FOOTINGS, PIPE SHALL BE PVC SCHEDULE 40.
- STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (CLASS 5 FOR PIPE DIAMETERS 18" AND SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED) WITH R-4 GASKETS, OR HDPE STORM SEWER PIPE IF ALLOWED BY THE CITY. HDPE STORM PIPE SHALL MEET REQUIREMENTS OF ASTM F2648. PIPE SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 REQUIREMENTS. SEE PLAN FOR LOCATIONS WHERE RCP IS REQUIRED. PVC STORM SEWER PIPE SHALL BE SCHEDULE 40 PIPE. FLARED END SECTIONS SHALL BE RCP WITH TRASH GUARDS & RIP-RAP.
- POST INDICATOR VALVES SHALL BE FLOW F-5750 (OR EQUIVALENT) MEETING ANSWA STANDARD C509 AND CITY STANDARDS. VALVE TO BE MECHANICAL JOINT RESILIENT WEDGE GATE VALVE. POST TO BE ADJUSTABLE FOR 8 FEET WATER MAIN DEPTH. THE ELECTRICAL ALARM SWITCH SHALL BE PART NO. PCV52 (OR EQUIVALENT).
- AFTER CONSTRUCTION IS COMPLETED, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.



SYSTEM 1S SHOWN FOR REFERENCE ONLY. TO BE DESIGNED AND CONSTRUCTED BY OTHERS WITH DEVELOPMENT OF LOT 1.



I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL ENGINEER under the laws of the State of Minnesota.

Daniel M. Parks
 Daniel M. Parks
 Date: 06/04/2018 License No. 18919

Preliminary Utility Plan

DRAWN: SSA DATE: 01/05/17
 SCALE: REVISION DATE:
 1"=20' 06/04/2018

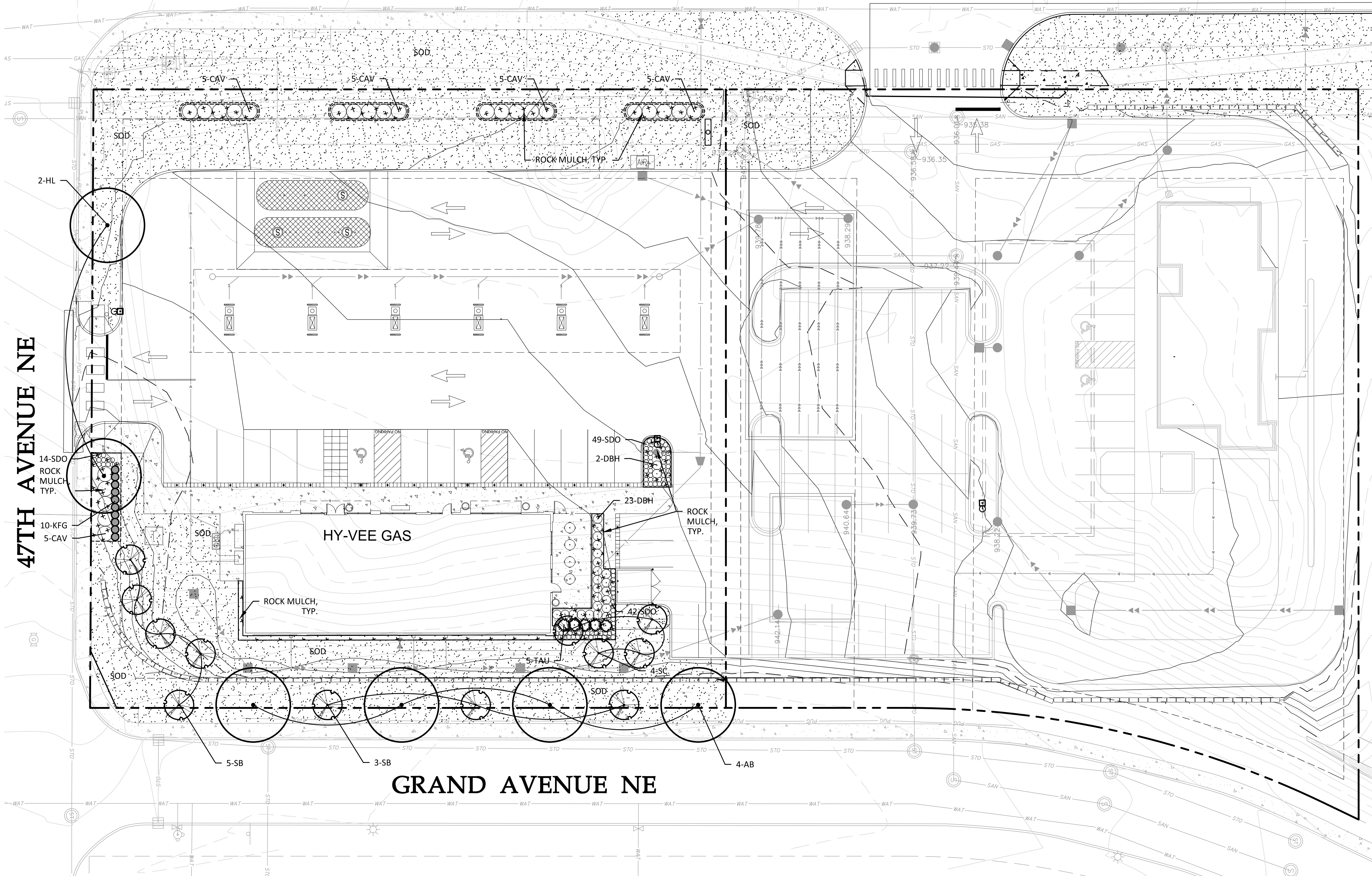
SHEET: **C4.0**

NOT FOR CONSTRUCTION

CENTRAL AVENUE NE

47TH AVENUE NE

GRAND AVENUE NE



Plant Schedule

CANOPY TREE - 6								
QTY	ID	COMMON NAME	BOTANICAL NAME	SIZE	METHOD	HEIGHT	WIDTH	SPACING
4	AB	Autumn Blaze Maple	Acer x freemanii 'Jeffersred'	2.5" CAL.		50'-60'	30'-50'	AS SHOWN
2	HL	Skyline Honeylocust	Gleditsia triacanthos var. inermis 'Skycole'	2.5" CAL.	B&B	45'-50'	30'-35'	AS SHOWN
UNDERSTORY TREE - 12								
8	SB	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	1.5" CAL.	B&B	20'-25'	15'	AS SHOWN
4	SC	Spring Snow Crabapple	Malus 'Spring Snow'	1.5" CAL.	B&B	20'-30'	15'-20'	AS SHOWN
DECIDUOUS SHRUBS - 44								
25	CAV	Compact American Viburnum	Viburnum trilobum 'Bailey Compact'	#5	CONT.	5'-6'	5'-6'	5'-0" O.C.
25	DBH	Dwarf Bush Honeysuckle	Diervilla lonicera			4'	3'-4'	3'-0" O.C.
EVERGREEN SHRUBS - 8								
5	TAU	Taunton Yew	Taxus x media 'Taunton'	#5	CONT.	3'	3'-5'	4'-0" O.C.
PERENNIALS & GRASSES - 89								
10	KFG	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	#1	CONT.	4'-6'	4'-6'	36" O.C.
105	SDO	Stella de Oro Daylily	Hemerocallis 'Stella de Oro'			1'-2'	1'-2'	18" O.C.

Landscape Requirements

TOTAL LANDSCAPE REQUIRED: 17 TREES
13 TREES

* A MINIMUM OF ONE TREE SHALL BE PLANTED FOR EVERY 50 FEET OF STREET FRONTAGE OR FRACTION THEREOF. THE TREES SHALL BE PLANTED WITHIN THE FRONT YARD. (636' OF STREET FRONTAGE)

* A MINIMUM OF FOUR TREES SHALL BE PLANTED FOR EVERY ONE ACRE OF LOT AREA COVERED BY BUILDINGS, PARKING AREAS, LOADING AREAS, EXTERIOR STORAGE AREAS AND OTHER IMPERVIOUS SURFACES. (TOTAL SITE: 44,567 SF, IMPERVIOUS: 32,491 SF = 72.9% IMPERVIOUS)

* PARKING AREAS SHALL HAVE A MINIMUM OF 100 SQUARE FEET OF LANDSCAPE AND ONE OVERSTORY TREE FOR EACH 20 SPACES OR FRACTION THEREOF. THE REMAINDER OF LANDSCAPE AREA SHALL BE COVERED IN VARIOUS PVIOUS GROUND COVERS. (17 PARKING SPOTS)

TOTAL LANDSCAPE PROVIDED: 18 TREES
6 TREES
12 TREES

—SHRUBS: 52 SHRUBS

Groundcover Schedule

[Symbol]	Sod	Hyland Salt Tolerant Sod
[Symbol]	Mulch	1 1/2" to 3" Slate/Trap Rock Dark Brown Wood Mulch

Tree Legend



Planting Notes

- GENERAL:
- ALL PLANT MATERIAL INSTALLATION, INCLUDING SEED AND SOD, SHALL BE COMPLETED PRIOR TO GRAND OPENING.
 - CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL CONTACT EITHER COMMON GROUND ALLIANCE AT 811 OR CALL811.COM OR GOPHER STATE ONE CALL AT 651-681-7326 (TWIN CITIES METRO AREA) OR 800-252-1166 (GREATER MINNESOTA) OR WEB AT www.gopherstateonecall.org. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
 - ALL PLANT MATERIAL QUANTITIES, SHAPES OF BEDS AND LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN AND ADJUSTED TO CONFORM TO THE EXACT CONDITIONS OF THE SITE. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIALS PRIOR TO INSTALLATION. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
 - NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR HY-VEE, INC. ALL SUBSTITUTIONS MUST BE APPROVED PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED UNSATISFACTORY BEFORE, DURING, OR AFTER INSTALLATION.
 - THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
 - CONTRACTOR SHALL PROVIDE GUARANTEE OF ALL PLANT MATERIALS FOR TWO COMPLETE GROWING SEASONS (APRIL 1 - NOVEMBER 1) YEAR. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. THE GUARANTEE SHALL COVER THE FULL COST OF REPLACEMENT INCLUDING LABOR AND PLANTS. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL LANDSCAPE LEGEND SPECIFICATIONS.
 - CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED OR IRRIGATION SYSTEM IS OPERATIONAL. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
 - PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
 - REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- SOIL PREPARATION:
- TOPSOIL SHALL BE LOCAL FERTILE AGRICULTURAL SOIL FREE OF SUBSOILS, ROCKS, CLAYS, PLANTS, WEEDS, ROOTS AND OTHER IMPURITIES. PH VALUE SHALL BE BETWEEN 5.4 AND 7.0.
 - REMOVE DEBRIS AND WEEDS FROM SUBSOIL.
 - THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL PERFORM A SOIL TEST PRIOR TO INSTALLATION AND NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
 - SPREAD TOPSOIL TO A MINIMUM DEPTH OF 6". TOPSOIL PLACEMENT SHALL TAKE PLACE DURING DRY WEATHER. PREPARE TOPSOIL SO THAT IT IS FREE OF DEBRIS AND GRADED TO DRAIN AS INDICATED ON GRADING PLANS.
 - LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT AND PROHIBIT CONSTRUCTION TRAFFIC FROM AREAS WITH TOPSOIL.
- PLANTING:
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO, BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES.
ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
 - PLANTS TO BE INSTALLED AS PER MNL & ANSI STANDARD PLANTING PRACTICES.
 - PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
 - PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
 - OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS. VERTICALLY SCORE ROOT BALLS PRIOR TO INSTALLATION.
 - PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
 - WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
 - BACKFILL SOIL AND TOPSOIL TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW) AND TO EXISTING TOP SOIL FROM SITE FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL FOR TREE, SHRUBS, AND PERENNIALS.
 - WOOD MULCH SHALL BE AT ALL TREE, SHRUB, PERENNIAL, AND MAINTENANCE AREAS, COLOR SHALL BE DARK BROWN. TREE AND SHRUB PLANTING BEDS SHALL HAVE 4" DEPTH OF SHREDDED HARDWOOD MULCH. SHREDDED HARDWOOD MULCH TO BE USED AROUND ALL PLANTS WITHIN TURF AREAS. PERENNIAL AND ORNAMENTAL GRASS BEDS SHALL HAVE 3" DEPTH SHREDDED HARDWOOD MULCH. MULCH TO BE FREE OF DELETERIOUS MATERIAL. NO FABRIC UNDER WOOD MULCH.
 - ROCK MULCH TO BE SLATE OR TRAP ROCK, 1 1/2" TO 3" DIAMETER, AT MINIMUM 3" DEPTH, OR APPROVED EQUAL. ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TP36R, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
 - EDGING TO BE COMMERCIAL GRADE VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING OR SPADED EDGE, AS INDICATED. POLY EDGING SHALL BE PLACED WITH SMOOTH CURVES AND STAKED WITH METAL SPIKES NO GREATER THAN 4 FOOT ON CENTER WITH BASE OF TOP BEAD AT GRADE, FOR MOWERS TO CUT ABOVE WITHOUT DAMAGE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. INDIVIDUAL TREE AND SHRUB BEDS TO BE SPADED EDGE, UNLESS NOTED OTHERWISE. EDGING TO MATCH EXISTING CONDITIONS (WHERE APPLICABLE).
- SEEDING/SODDING:
- HIGHLAND SOD SHALL BE NURSERY GROWN GRADE; CULTIVATED GRASS SOD WITH STRONG FIBROUS ROOT SYSTEM FREE OF STONES, BURIED OR BARE SPOTS CONTAINING NO MORE THAN 5 WEEDS PER 1000 SF. SOD SHALL BE GROWN IN MINERAL SOILS. SOD GROWN IN PEAT SOILS WILL BE REJECTED.
 - SOD MIXTURE SHALL BE 40% KENTUCKY BLUEGRASS, 30% PERENNIAL RYEGRASS, 30% FINE FESCUES.
 - FERTILIZER FOR SODDED AREAS SHALL BE NITROGEN 10%, PHOSPHORIC ACID 10%, SOLUBLE POTASH 10%.
 - APPLY FERTILIZER AT APPLICATION RATE OF 1LB/1000 SF TO TOPSOIL PRIOR TO PLACING SOD.
 - ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE PROPER SOIL CONTACT. MOISTEN PREPARED SOIL IMMEDIATELY PRIOR TO LAYING SOD. LAY SOD IMMEDIATELY UPON DELIVERY TO THE SITE, LEAVING NO OPEN JOINTS OR OVERLAPPING JOINTS. DO NOT STRETCH SOD. DO NOT LAY SOD IF TEMPERATURE IS BELOW FREEZING.
 - ROLL SOD WITH 1/3 FULL ROLLER AFTER SOD AND SOIL HAVE DRIED. ROLL BEFORE THE FIRST WATERING.
 - SEED AS SPECIFIED ON PLANS AND PER MN/DOT 2014 SEEDING MANUAL SPECIFICATIONS.
 - REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY ROADWAY BOULEVARD AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.

REVISION

02/02/17 Site Plan Application-Resubmit
 06/04/18 Amended Site Plan

Westwood
 12701 Whitewater Drive, Suite #900
 Minneapolis, MN 55448
 Phone: (952) 837-5150
 Fax: (952) 837-5822
 Toll Free: (888) 837-5150
 westwoodps.com
 Westwood Professional Services, Inc.

LOCATION:
COLUMBIA HEIGHTS HY-VEE GAS
COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 5828 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2935

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly licensed PROFESSIONAL LANDSCAPE ARCHITECT under the laws of the State of Minnesota.
[Signature]
Jeffery R. Westendorf
 Date: 06/04/2018 License No. 46508

Preliminary
 Landscape
 Plan

DRAWN: NTM DATE: 01/05/17
 SCALE: 1"=20' REVISION DATE: 06/04/2018
 SHEET: C5.0

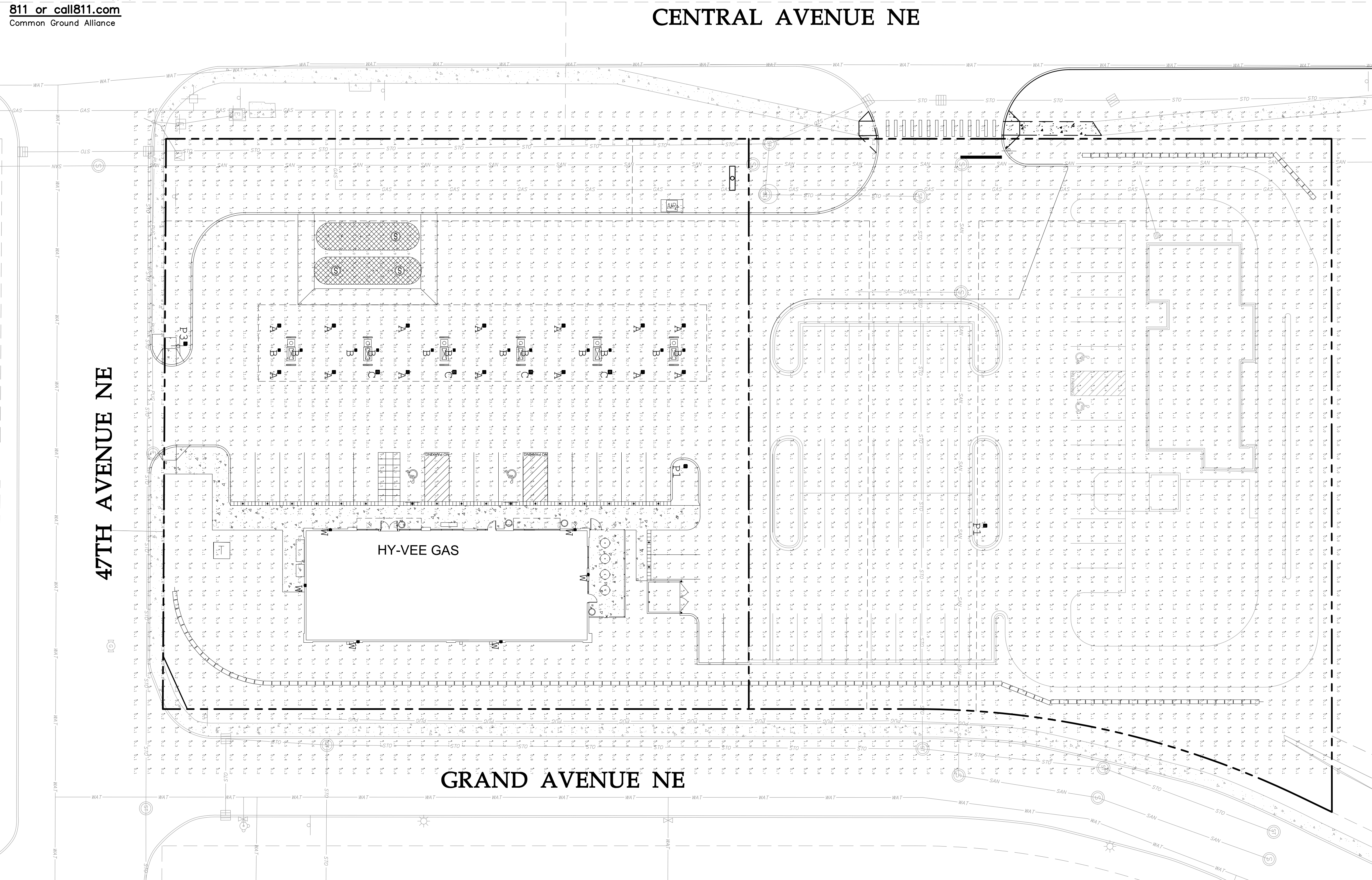
NOT FOR CONSTRUCTION

CENTRAL AVENUE NE

47TH AVENUE NE

GRAND AVENUE NE

HY-VEE GAS



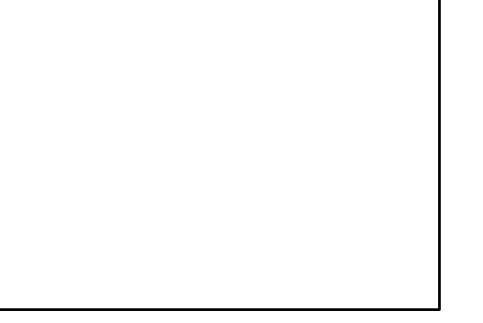
Luminaire Schedule

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	2	PFAS-230L-700-NW-G1-5W	SINGLE	N.A.	1.000	PFAS-230L-700-NW-G1-5W
□	1	PFAS-92L-700-NW-G1-3	SINGLE	N.A.	1.000	PFAS-92L-700-NW-G1-3
□	14	CRO3-ES-LED-84-450-CW-UE IES	SINGLE	N.A.	1.000	CRO3-ES-LED-84-450-CW-UE
□	12	CRO3-FO-LED-30-SS-CW-UE	SINGLE	N.A.	1.000	CRO3-FO-LED-30-SS-CW-UE
□	4	CRS-AC-LED-128-HO-CW-UE	SINGLE	N.A.	1.000	CRS-AC-LED-128-HO-CW-UE
□	6	LPW32-7	SINGLE	N.A.	1.000	LPW32-7

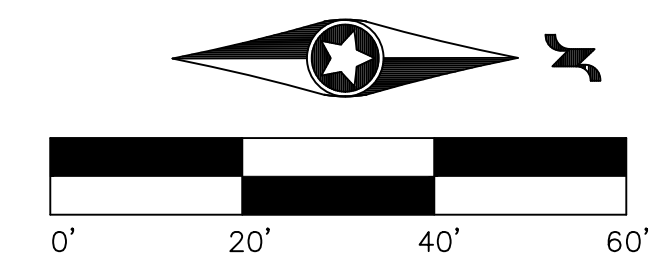
REVISION	DATE BY
02/02/17 Site Plan Application-Resubmit	
06/04/18 Amended Site Plan	

Westwood
 12701 Whitewater Drive, Suite #300
 Minneapolis, MN 55443
 Phone: (952) 937-5150
 Fax: (952) 937-5922
 Toll Free: (888) 937-5150
 westwoodps.com
 Westwood Professional Services, Inc.

LOCATION:
COLUMBIA HEIGHTS HY-VEE GAS
COLUMBIA HEIGHTS, MINNESOTA
 HY-VEE, INC.
 5820 WESTOWN PARKWAY
 WEST DES MOINES, IOWA 50266
 TELEPHONE: (515) 267-2800
 FAX: (515) 267-2935
HyVee
 EMPLOYEE OWNED



Preliminary
 Lighting Plan



NOT FOR CONSTRUCTION

DRAWN:	DATE:
SCALE:	REVISION DATE:
1"=20'	06/04/2018

SHEET:
C6.0